



REWARD CHARACTER  
DESIGNS  
BUILDING DESIGN & CREATOR



# PROPOSED FUNCTION CENTRE & FARM STAY ACCOMMODATION

59 HENDERSONS ROAD, TOOTOOL, NSW, 2655

LOT 4 DP 1090042  
LOT SIZE - 9.47Ha  
LGA: LOKHART SHIRE COUNCIL

DESIGNED FOR:  
**SIMON AND JANE BONNY**

DRAWING SCHEDULE:

NO.	TITLE
A01	SITE PLAN
A02	PARTIAL SITE PLAN
A03	EXISTING // DEMO. FLOOR PLAN
A04	PROPOSED FLOOR PLAN
A05	ELEVATIONS
A06	OUTDOOR KITCHEN / STORE ELEVATIONS & SECTION
A07	SECTION // SCHEDULES
A08	BASIX INFO.

DESIGNED: **REWARD CHARACTER DESIGNS**

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E [info@rkd.net.au](mailto:info@rkd.net.au)

REVISION:

PRELIMINARY. 1	15/11/2024
FINALS DRAFT.	08/01/2025
FINALS.	10/02/2025



BUILDING NOTES

ALL: CONSTRUCTION WORKS ARE TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA AND ANY RELEVANT AUSTRALIAN STANDARDS OR LOCAL COUNCIL AUTHORITY REQUIREMENTS REFERENCED IN THE PLANS.

**BUILDING DESIGN PLANS:** ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND PROFESSIONAL ENGINEERING PLANS / MANUFACTURERS PLANS

**BUILDER / CONTRACTORS:** TO CONFIRM LEVELS AND DIMENSIONS AND ANY OTHER DETAILS ON SITE PRIOR TO THE COMMENCEMENT OF WORKS.

**BUILDER:** TO ENSURE UNDERGROUND SERVICES,PIPES AND CABLES TO BE LOCATED PRIOR TO EXCAVATION WORKS. CALL DIAL BEFORE YOU DIG ON 1100 OR GO TO WWW.1100.COM.AU.

**SITE MANAGEMNET:** TO COMPLY WITH THE LOCAL COUNCIL AUTHORITY FOR THE SUPPLY/ INSTALL AND MAINTENANCE OF THE FOLLOWING:

- SEDIMENT CONTROL MEASURES
- STABILISED ENTRY POINT
- CONTROLLED RUBBISH AREA
- TOILET FACILITIES

**BASIX:** SELECTIONS TO COMPLY WITH ENERGY EFFICIENCY PERFORMANCE REQUIREMENTS OF THE ASSOCIATED BASIX CERTIFICATE.

**CONCRETE:** SLABS AND FOOTINGS ARE TO BE TO ENGINEERS SPECIFICATIONS AND COMPLY WITH AS 2870 RESIDENTIAL SLABS AND FOOTINGS

**STORMWATER/ SEWER:** MUST BE DESIGNED AND INSTALLED TO COMPLY WITH AS/NZS 3500.3 - 2003 (PLUMBING AND DRAINAGE - STORMWATER DRAINAGE) OR AS/NZS 3500.5 - 2000(NATIONAL PLUMBING AND DRAINAGE DOMESTIC INSTALLATIONS)

**TERMITE PROTECTION** **TERMITE PROTECTION:** PROVIDE PHYSICAL AND CHEMICAL TERMITE BARRIERS IN ACCORDANCE WITH NCC 22 VOL HOUSING PROVISIONS, PART 3.4 TERMITE RISK MANAGEMENT AND AS 3660.1.

**MASONRY:** TO BE IN ACCORDANCE WITH AS 3700 (MASONRY STRUCTURES).

**ELECTRICAL:** DESIGN AND INSTALLATION TO COMPLY WITH AS/NZS 3018 -2001 (ELECTRICAL INSTALLATIONS - DOMESTIC INSTALLATIONS)

**INTERNAL WET AREA WATERPROOFING:** TO COMPLY WITH AS 3740 - 2010 WATER PROOFING OF DOMESTIC WET AREAS & NCC 22 VOL. HOUSING PROVISIONS PART 10.2 WET AREA WATER PROOFING

**EXTERNAL WET AREA WATERPROOFING:** TO BE IN ACCORDANCE WITH NCC 22 VOL 2 PART H2D8 EXTERNAL WATERPROOFING AND MATERIALS SELECTION, SYSTEM DESIGN AS PER AS 4654.

**GLAZING:** SELECTION AND INSTALLATION TO AS 2047 AND GLASS TYPE AND THICKNESS TO AS 1288. ALL OTHER COMPONENTS TO COMPLY WITH RELATIVE STANDARDS.

**TIMBER:** STRUCTURAL TIMBER TO COMPLY WITH AS 1684 & TO ENGINEERS DETAILS. DECORATIVE TIMBER FEATURES TO BE AS SELECTED.

**STEEL:** REFER TO BUILDING SPECIFICATIONS & ENGINEERS DETAILS.

**HAZARDS:** ALL CARE IS TO BE TAKEN BY ONSITE CONSTRUCTION WORKERS. RELEVANT QUALIFICATIONS/ INSURANCES / INDUCTIONS ARE TO BE UP TO DATE PRIOR TO COMMENEMENT OF WORKS. HAZARDS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- CHEMICALS- E.G PAINTS, SOLVENTS & SEALANTS.
- CONSTRUCTION MATERIALS- E.G TREATED TIMBER, ASBESTOS REMOVAL, INSULATION.
- WORKING AT HEIGHTS.
- WORKING IN CONFINED SPACES.
- DEMOLITION WORKS.

SITE COVER

SITE AREA -  
TOTAL ENCLOSED AREA -  
(EXTERNAL SIDE OF WALL)

94700m<sup>2</sup>  
1076.28m<sup>2</sup>

TOTAL -

1076.28m<sup>2</sup>

SITE COVERAGE =  
SITE COVERAGE MAX =

1.14%  
N/A%

PROJECT AREAS

EXISTING RESIDENCE - 594m<sup>2</sup>  
EXISTING SHEDS - 286m<sup>2</sup>  
EXISTING GARAGE - 170m<sup>2</sup>  
EXISTING GARDEN SHED - 26.28m<sup>2</sup>  
\*ALL AREAS ARE APPROX.

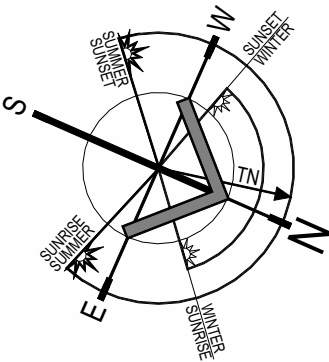
TOTAL - 1076.28m<sup>2</sup>

EXISTING POOL



SITE PLAN

SCALE AT A2 1:2000



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PROJECT  
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DRAWING TITLE  
**SITE PLAN**  
CLIENT  
TORONTO ESTATE  
DATE // TIME  
26/02/2025 3:00:09 PM

SCALE  
AS SHOWN  
STATUS  
**FINALS**  
PROJECT ID  
22RCD24

DRAWN BY  
GUY WARD  
BUILD BY  
TBC

DRAWING NO.

**A01**



CARPARKING

90° PARKING IN ACCORDANCE WITH AS 2890.1  
2004 OFF STREET PARKING. FIGURE 2.2 CLASS 2

A DENOTES ACCESIBLE PARKING SPACE  
P DENOTES STANDARD PARKING SPACE

ACCESSIBLE PARKING TO COMPLY WITH AS2890.6

TOTAL SPACES PROVIDED

ACCESSIBLE SPACES 2  
STANDARD SPACES 10

TOTAL 12 SPACES

IT IS DEEMED THAT MOST ATTENDEES WOULD  
RIDE SHARE / ORGANISED TRANSPORT VIA  
COACH SERVICES.

APPROX.  
MARQUE AREA  
FOR FUNCTIONS

PROPOSED 4m³ SKIP BINS. FOR  
WASTE.

DIRECT STORMWATER TO  
GRAVITY FEED TO CREEK

PROPOSED OUTDOOR  
KITCHEN AND STORAGE  
CONVERSION

EXISTING POOL

OUTDOOR CAR PARK  
LIGHTING TO COMPLY WITH  
AS 4282

EXISTING RESIDENCE

TRAFFIC SIGNAGE - SHARED  
SPEED ZONES 10KM/H

CONNECT WASTE WATER TO  
EXISTING AWTS 9320L

EXISTING STORMWATER  
GRAVITY FEEDS TO CREEK

PROPOSED GARAGE CONVERSION  
TO FARMSTAY ACCOMMODATION

FACILITY CALCULATIONS

CALCULATIONS HAVE BEEN COMPLETED BASED  
OFF TABLE F4D4I: SANITAARY FACILITIES IN CLASS  
9B BUILDINGS - PUBLIC HALLS, FUNCTION ROOMS  
OR THE LIK.

NOTE FACILITIES WILL BE PROVIDED IN THE FORM  
OF HIRED PORTABLE UNIT FOR THE FUNCTION.  
MINIMUM REQUIREMENTS BELOW.

MINIMUM REQUIREMENTS FOR MALE FACILITY  
1 x W.C PER 100 MALES  
2 x URINAL PER 100 MALES  
2 x WASHBASIN PER 200 MALES

MINIMUM REQUIREMENTS FOR FEMALE FACILITY  
3 x W.C PER 100 FEMALES  
2 x WASHBASIN PER 150 FEMALES

MINIMUM 1 x UNISEX ACCESSIBLE FACILITY

EXISTING TREES

2 x CARPARKS TO BE ON EXISTING  
COMPACTED GRAVEL DG20

ACCESSIBLE SPACES TO BE ON ENDS  
TO ALLOW FOR SHARED SPACE ON  
OUTSIDE OF PARKING SPACE

PROPOSED PORTABLE  
AMENITIES. SIZE TBC

EXISTING SILOS

PROPOSED CARPARK  
ON EXISTING  
COMPACTED GRAVEL

EXISTING SHEDS



4m³ SKIP BIN

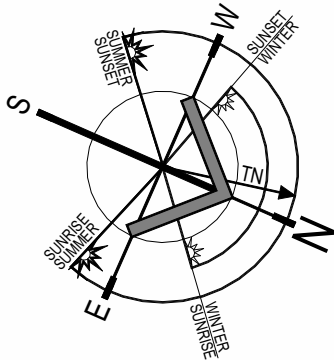
DENOTES APPROX. NEW SEWER

DENOTES APPROX. EXISTING STORM WATER



PLASTIC DELINEATOR TO BE INSTALLED TO  
MARK OUT CAR SPACES

DENOTES 100mm WHEEL STOP IN ACCORDANCE WITH  
AS 28.90.1 2004 OFF STREET PARKING. TABLE 2.1



PARTIAL SITE PLAN

SCALE AT A2 1:500



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26/02/2025 3:00:19 PM

SCALE  
AS SHOWN  
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22RCD24

DRAWN BY  
GUY WARD  
BUILD BY  
BUILDERS NAME

DRAWING NO.

A02

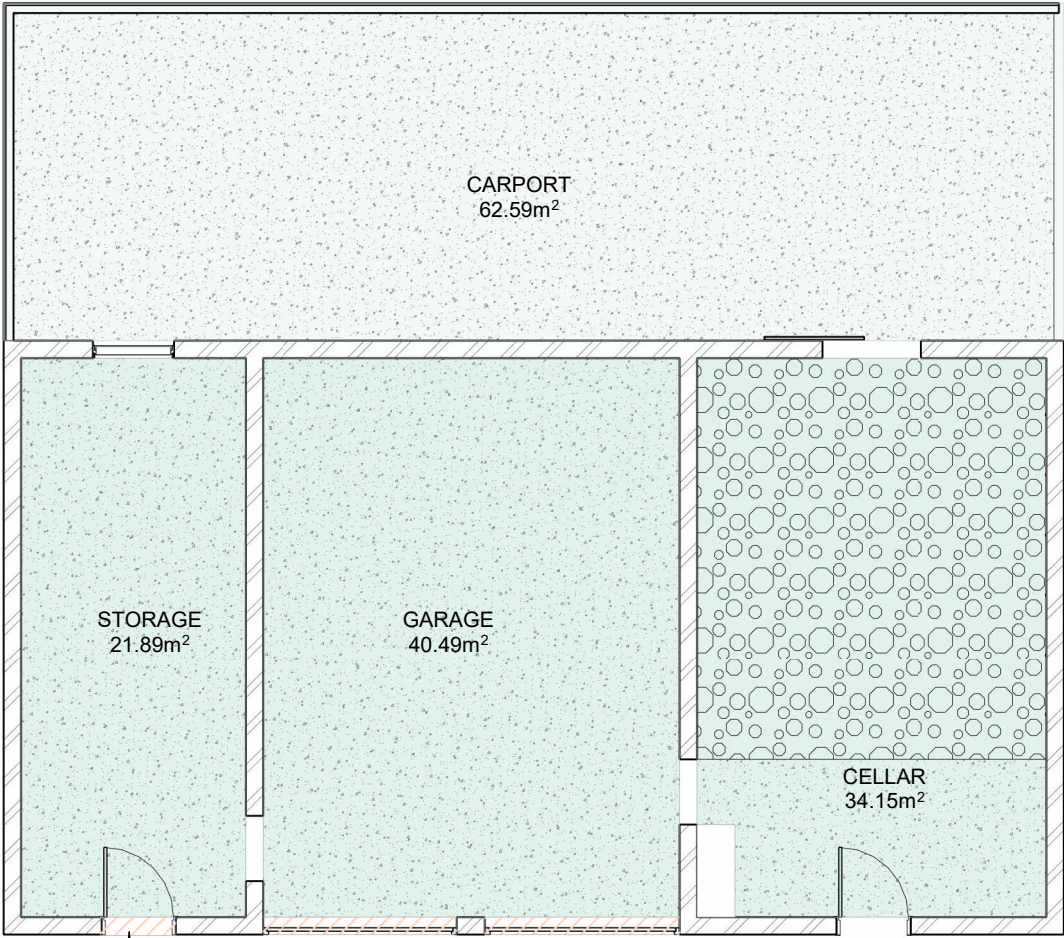


NOTE STRUCTURE IS EXISTING WITH ONLY INTERNAL WORKS PROPOSED.  
ALL DIMENSIONS ARE THE SAME AS PROPOSED FLOOR PLAN.

EXISTING AREAS

GROUND FLOOR - 96.53m<sup>2</sup>  
CARPORT - 62.59m<sup>2</sup>  
LOFT - 96.53m<sup>2</sup>  
\*ALL AREAS ARE APPROX.

TOTAL - 255.65m<sup>2</sup>

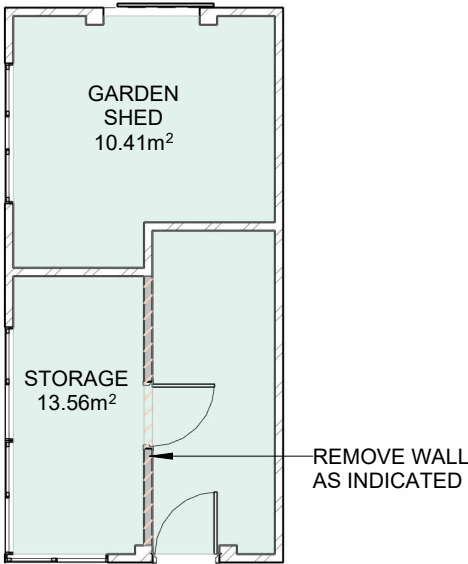


EXISTING GARAGE FLOOR PLAN  
SCALE AT A2 1:100

EXISTING AREAS

GARDEN SHED - 10.41m<sup>2</sup>  
STORAGE - 13.56m<sup>2</sup>  
\*ALL AREAS ARE APPROX.

TOTAL - 23.97m<sup>2</sup>



EXISTING GARDEN SHED PLAN  
SCALE AT A2 1:100

FLOOR TO CEILING HEIGHT -	2400mm
EAVES OVERHANG -	AS EXISTING
ROOF PITCH -	EXISTING
ROOF COVERING -	COLORBOND METAL SHEETING (CUSTOM ORB PROFILE)
FLOOR CONSTRUCTION -	EXISTING REINFORCED CONCRETE SLAB TO ENGINEERS DETAILS
EXTERNAL WALLS -	DOUBLE BRICK

GROUND FLOOR -	96.53m <sup>2</sup>
UNDERCOVER OUTDOOR AREA -	62.59m <sup>2</sup>
LOFT -	0m <sup>2</sup>

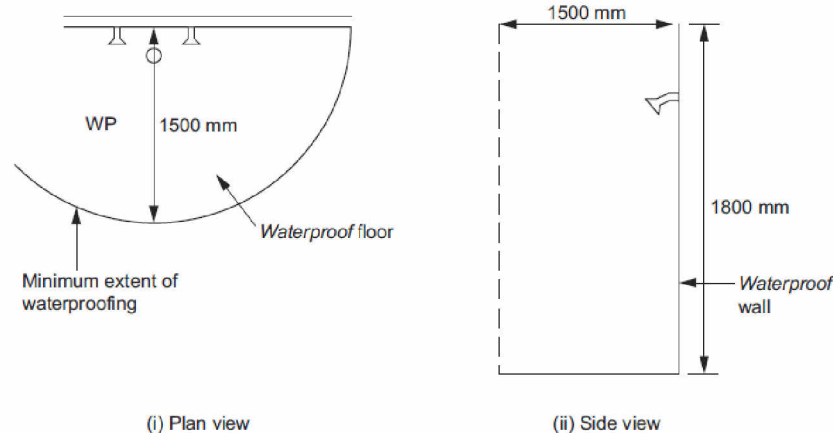
\*LOFT NOT PROPOSED TO BE USED.

**TOTAL -** **159.12m<sup>2</sup>**

INTERNAL WALLS ARE  
TO BE READ AS 90mm  
TIMBER STUD FRAMING  
TO AS 1684.

CB	CUPBOARD
CT	COOKTOP AS SELECTED
CS	CAVITY SLIDER DOOR
DW	DISHWASHER
DR	DRYER
FG	FIXED SHOWER GLASS
FW	FLOOR WASTE
N	NICHE
NW	NIB WALL
OV	OVEN AS SELECTED
PH	RANGEHOOD AS SELECTED
SC	SHOWER CHANNEL
SH	SHELF
SL	SKYLIGHT
SS	SQUARE SET
TR	TOWEL RAIL
TV	TELEVISION
WC	WATER CLOSET
WM	WASHING MACHINE

90mm INTERNAL TIMBER FRAME WITH FINISHES

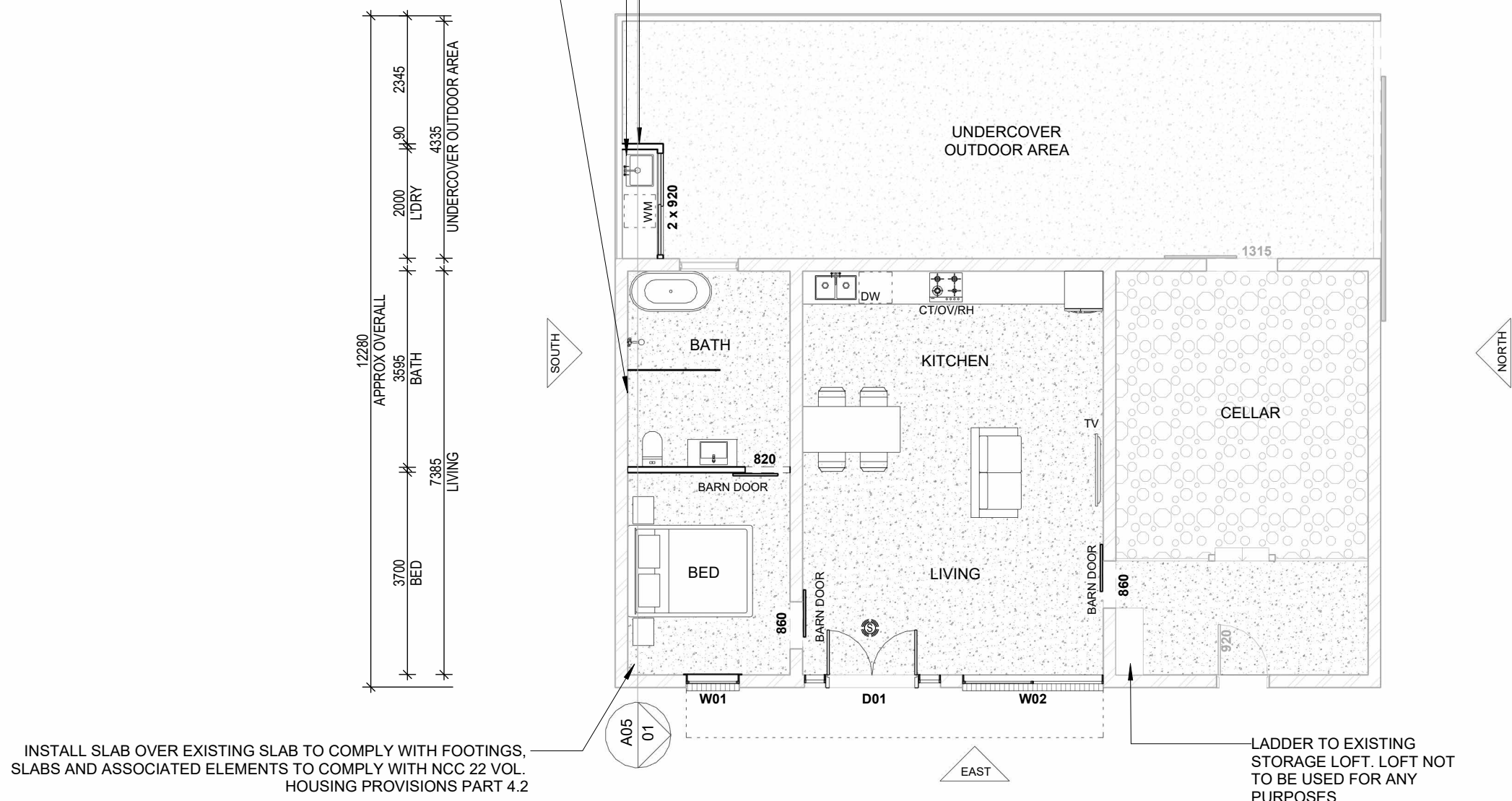
 POLISHED CONCRETE

**(b) Unenclosed shower**

WET AREAS TO COMPLY WITH NCC  
22 VOL. HOUSING PROVISIONS  
PART 10.2

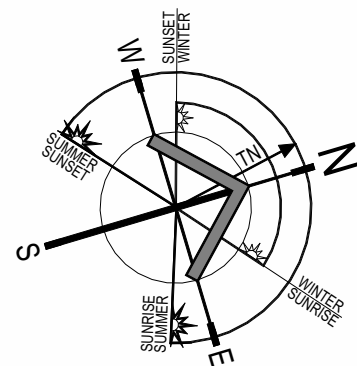
—ARTIFICIAL LIGHT TO COMPLY WITH THE NCC 22 VOL. HOUSING PROVISIONS *PART 10.5.2*

—VENTILATION TO COMPLY WITH THE NCC 22 VOL. HOUSING PROVISIONS *PART 10.6*



SCALE AT A2 1:100

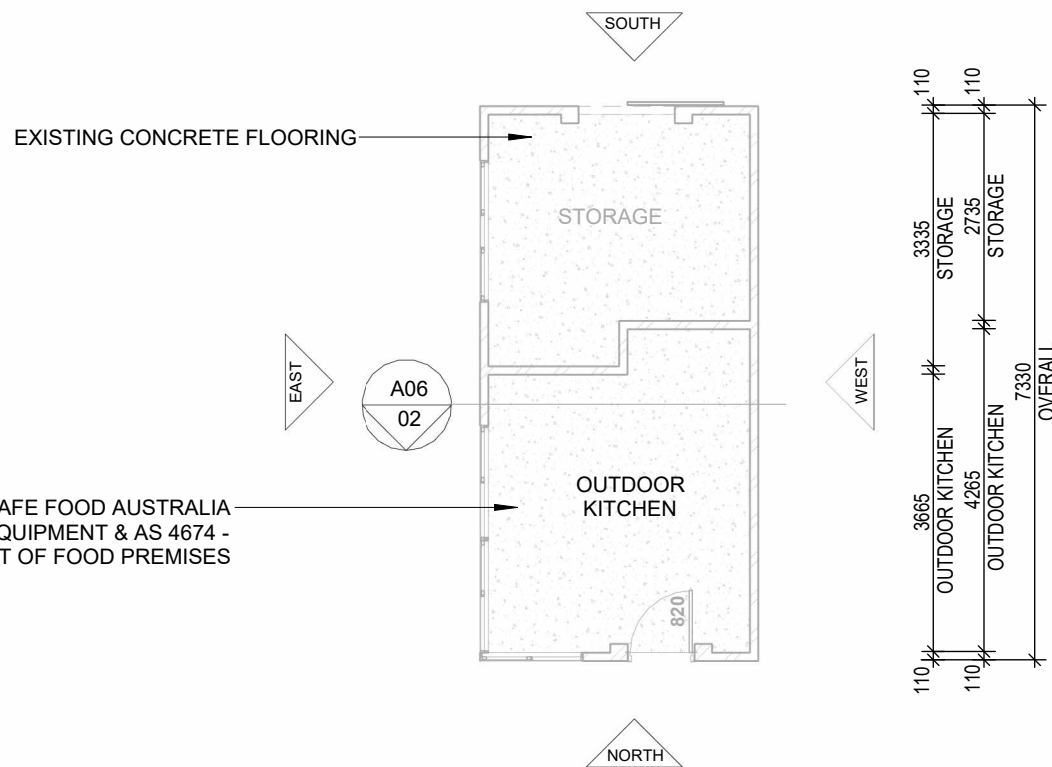
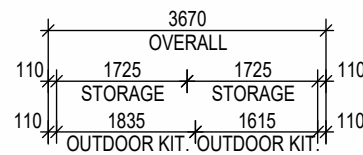
 INDICATES HARDWIRED SMOKE DETECTORS (INTERCONNECTED) IN ACCORDANCE WITH AS 3786 -1993, SMOKE ALARMS



FLOOR TO CEILING HEIGHT -	2220mm
EAVES OVERHANG -	AS EXISTING
ROOF PITCH -	EXISTING
ROOF COVERING -	COLORBOND METAL SHEETING (CUSTOM ORB PROFILE)
FLOOR CONSTRUCTION -	EXISTING REINFORCED CONCRETE SLAB TO ENGINEERS DETAILS
EXTERNAL WALLS -	SINGLE LEAF BRICK

**OUTDOOR KITCHEN -** 13.56m<sup>2</sup>  
 \*ALL AREAS ARE APPROX.  
 \*STORAGE NOT PROPOSED TO BE USED.

**TOTAL -** **13.56m<sup>2</sup>**



**OUTDOOR KITCHEN TO COMPLY WITH SAFE FOOD AUSTRALIA  
STANDARD 3.2.3 FOOD PREMISES AND EQUIPMENT & AS 4674 -  
2004 DESIGN CONSTRUCTION AND FIT OUT OF FOOD PREMISES**

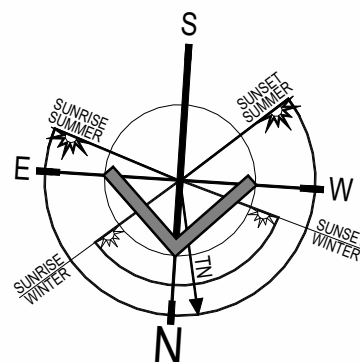
## CONVERT EXISTING STORAGE TO OUTDOOR KITCHEN

DEMOLITION WORKS

- REMOVE INTERNAL WALL.

**PROPOSED WORKS**

- TO COMPLY WITH RELEVANT STANDARDS.
- INSTALL BENCH / APPLIANCES AS REQUIRED.



SCALE AT A2 1:100



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59 HENDERSONS ROAD,  
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PROPOSED FLOOR PLAN  
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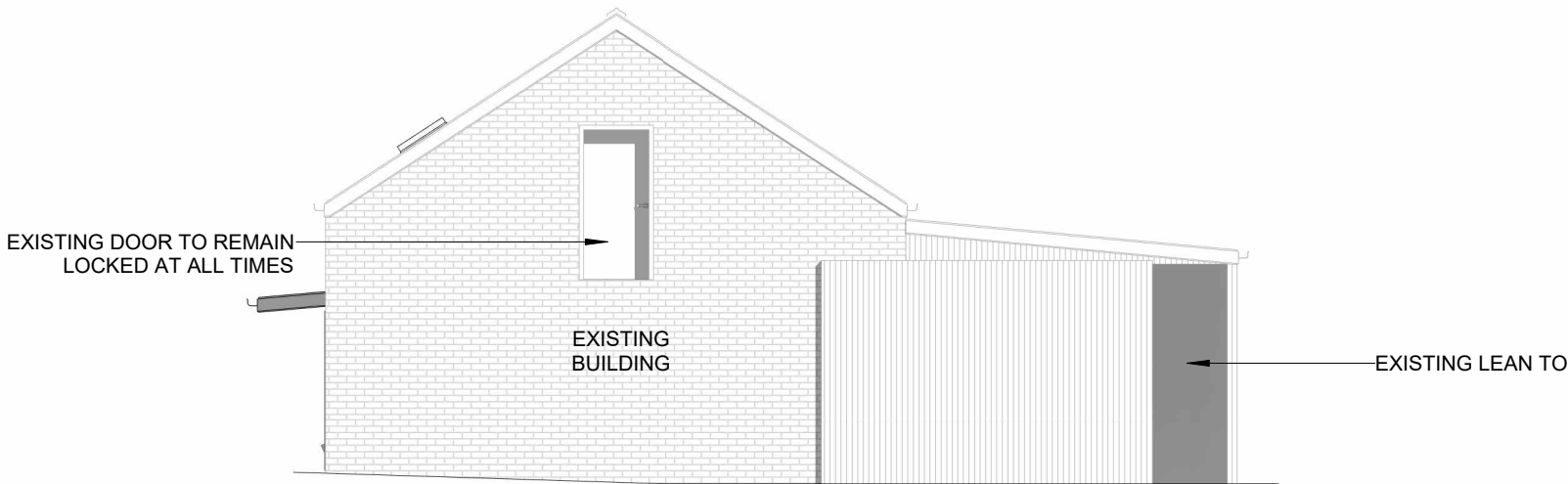
SCALE  
AS SHOWN  
STATUS  
**FINALS**  
PROJECT ID  
22RCD24

DRAWN BY  
GUY WARD  
BUILD BY  
TBC

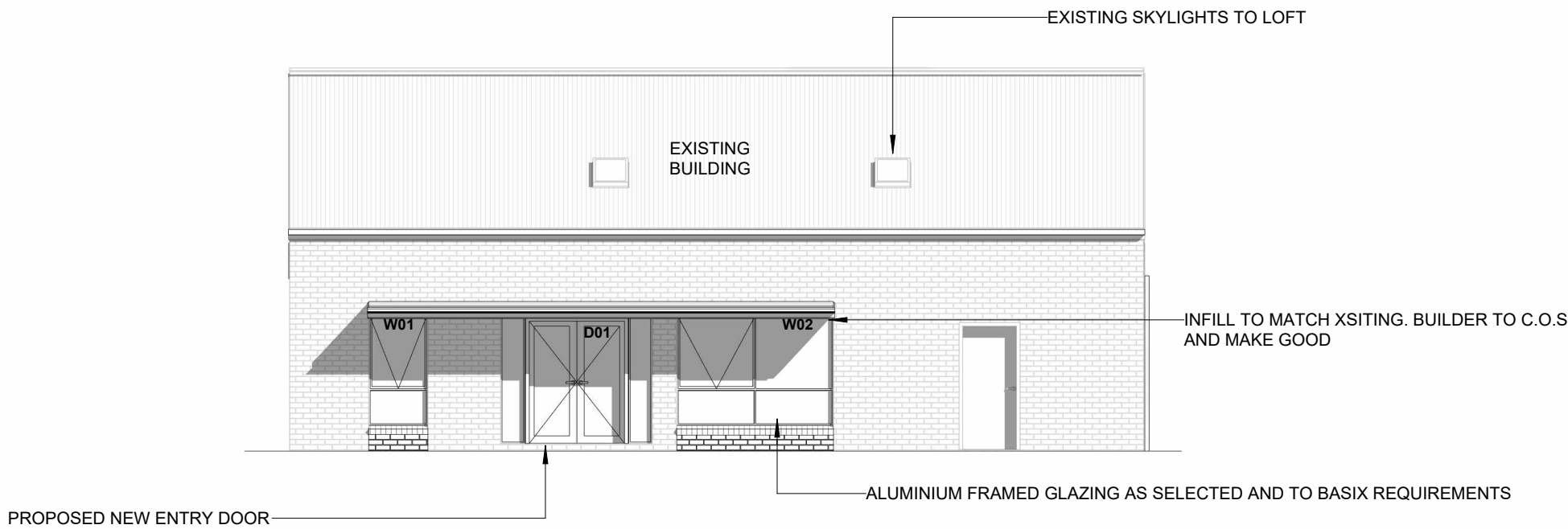
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# A04

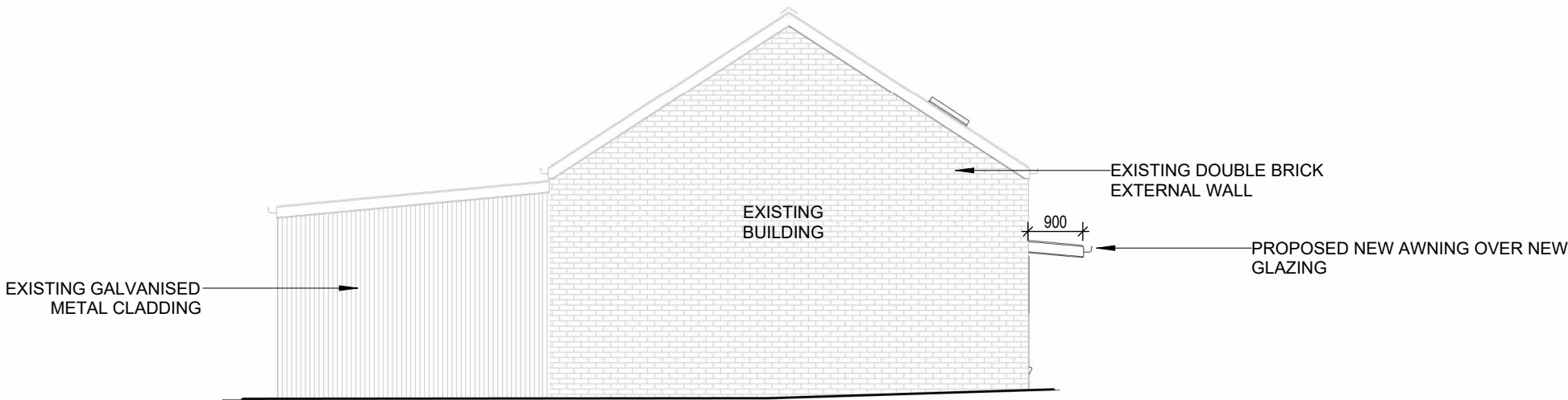




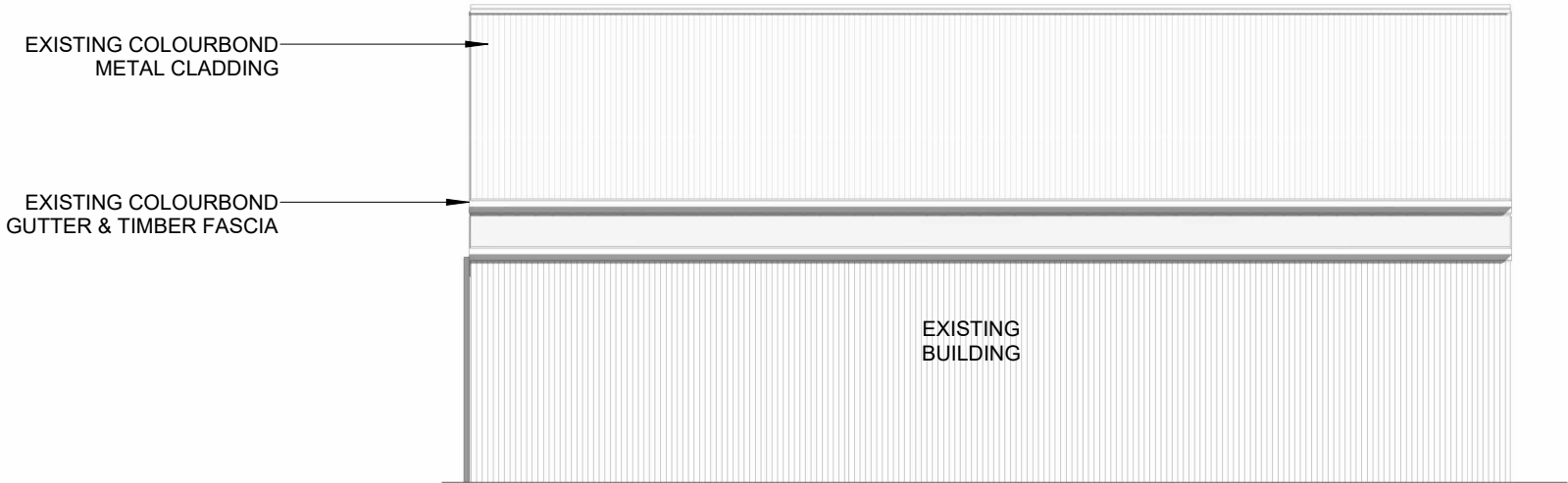
**NORTHERN ELEVATION**  
SCALE AT A2 1:100



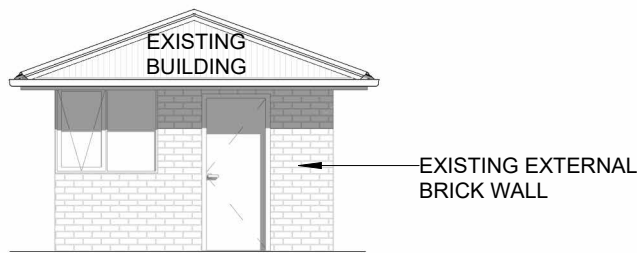
**EASTERN ELEVATION**  
SCALE AT A2 1:100



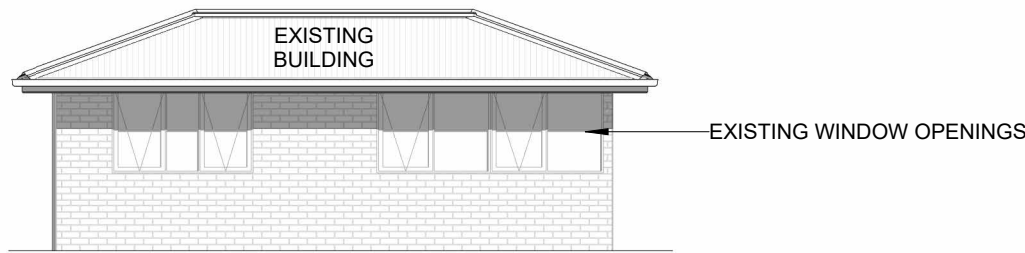
**SOUTHERN ELEVATION**  
SCALE AT A2 1:100



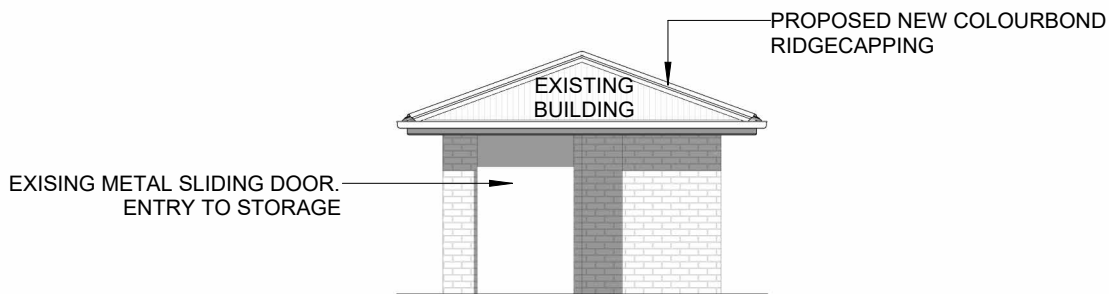
**WESTERN ELEVATION**  
SCALE AT A2 1:100



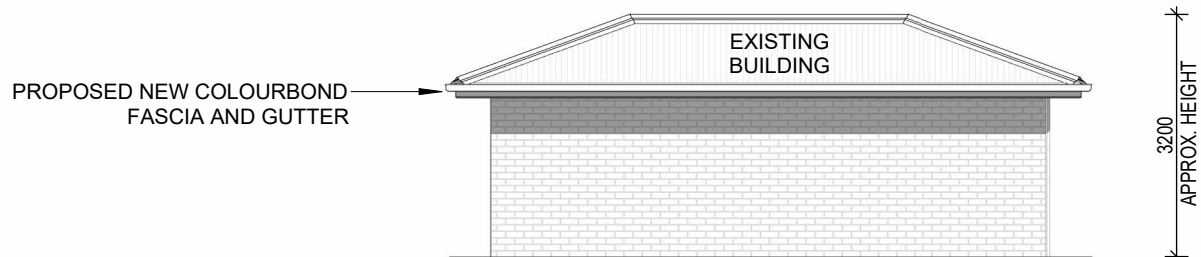
**NORTHERN ELEVATION**  
SCALE AT A2 1:100



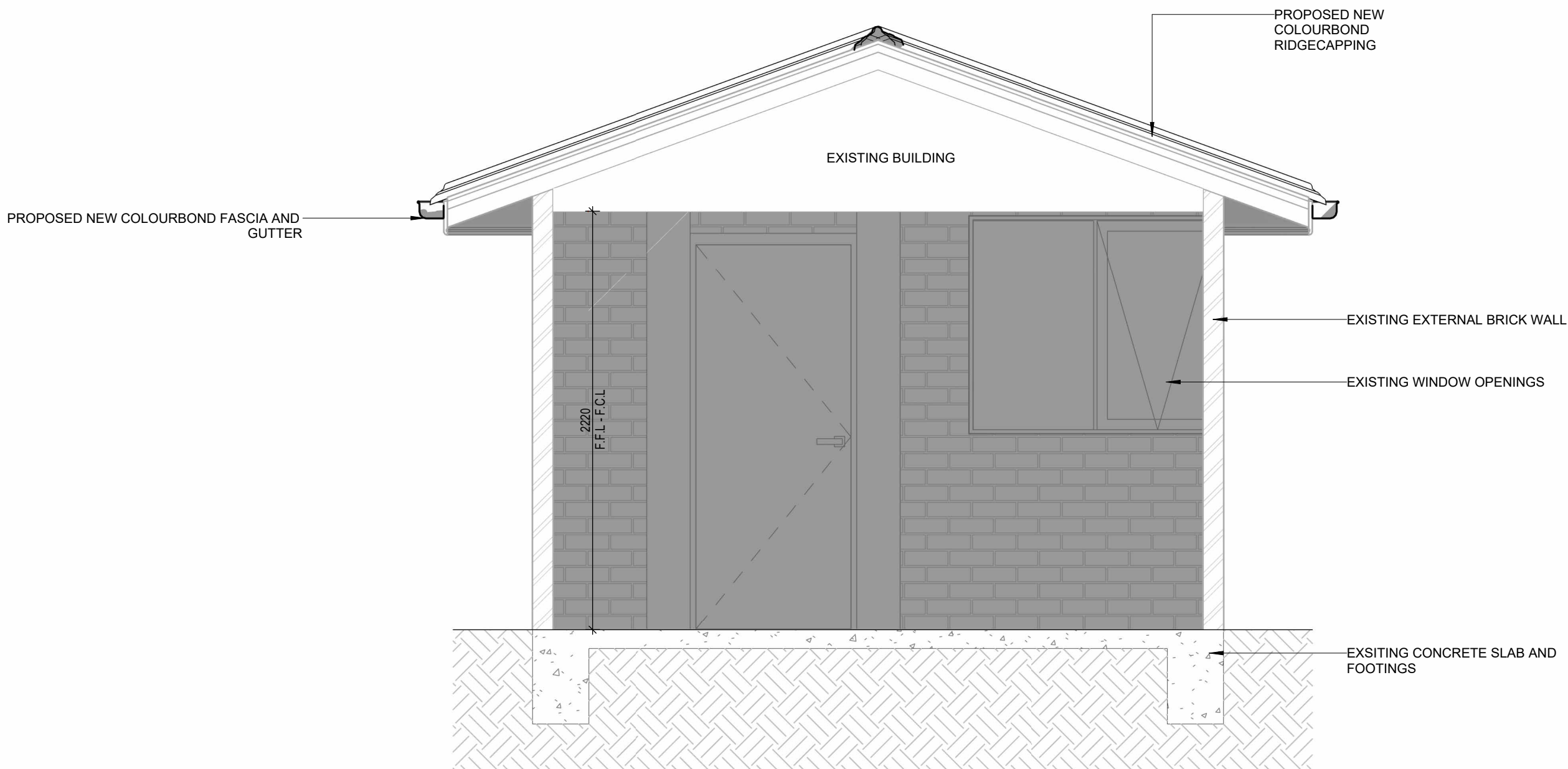
**EASTERN ELEVATION**  
SCALE AT A2 1:100



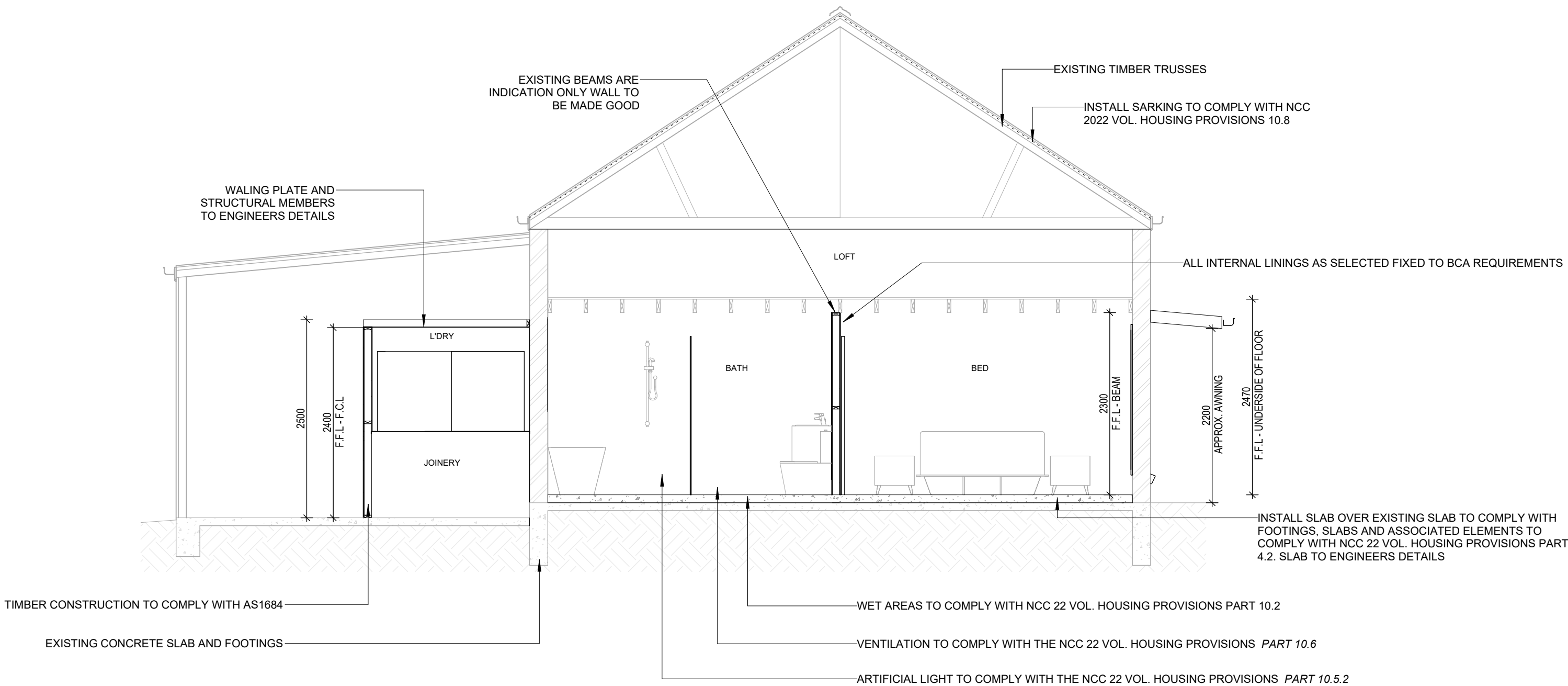
**SOUTHERN ELEVATION**  
SCALE AT A2 1:100



**WESTERN ELEVATION**  
SCALE AT A2 1:100

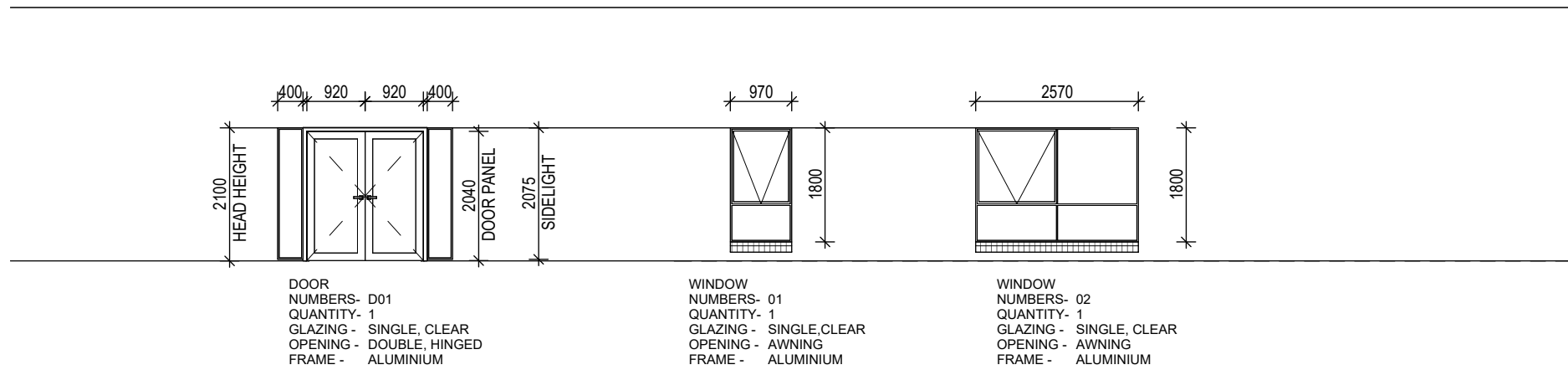


**SECTION 02**  
SCALE AT A2 1:25



## SECTION 01

SCALE AT A2 1:50

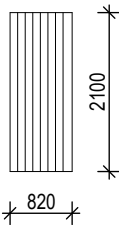


### DOOR & WINDOW NOTES

- ALL WINDOWS & GLAZED DOOR INSTALLATION TO COMPLY WITH AS 2047 AND AS 1288. BUSHFIRE PRONE AREAS TO COMPLY WITH AS 3959 - REFER TO BUSHFIRE NOTES FOR BUSHFIRE ATTACK LEVEL (BAL) (IF APPLICABLE TO PROJECT).
- WINDOW FRAME AND GLAZING PERFORMANCE LEVELS TO MEET OR EXCEED BASIX CERTIFICATE REQUIREMENTS.
- BUILDER TO ADVISE FRAMING MANUFACTURER OF SELECTED WINDOW MANUFACTURERS AS STANDARD WINDOW SIZES VARY SLIGHTLY BETWEEN MANUFACTURERS.
- ALL WINDOW AND DOOR DIMENSIONS TO BE CHECKED ON SITE PRIOR TO FABRICATION.
- ALL OPERABLE WINDOWS TO BE FITTED WITH SEALS AND TIGHT FITTING FLY SCREENS.
- EXTERNAL DOORS TO BE FITTED WITH WEATHER SEALS ALL ROUND
- WINDOWS AND EXTERNAL GLAZED DOORS TO COMPLY WITH NCC 22 VOL. HOUSING PROVISIONS PART 8.2
- WINDOW INSTALLATIONS TO COMPLY WITH NCC 22 VOL. HOUSING PROVISIONS PART 8.2.2
- GLASS TO COMPLY WITH NCC 22 VOL. HOUSING PROVISIONS PART 8.3
- GLAZING HUMAN IMPACT TO COMPLY WITH NCC 22 VOL. HOUSING PROVISIONS PART 8.4

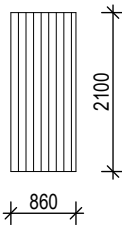
### DOOR SCHEDULE

DOOR LABEL BARN  
DOOR - 820



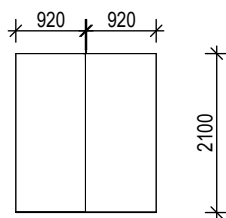
DOOR  
QUANTITY - 1  
TYPE - CUSTOM BUILT  
OPENING - SLIDING BARN DOOR  
FRAME - TIMBER

DOOR LABEL BARN  
DOOR - 860



DOOR  
QUANTITY - 2  
TYPE - CUSTOM BUILT  
OPENING - SLIDING BARN DOOR  
FRAME - TIMBER  
BUILDER TO CONFIRM  
MEASUREMENT FOR EXISTING  
DOOR OPENING

DOOR LABEL 2 x 920



DOOR  
QUANTITY - 1 SET  
TYPE - WARDROBE DOORS  
OPENING - SLIDING  
FRAME - TIMBER



Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: gas instantaneous.	✓	✓	✓
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors									
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.							✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:								✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.								✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.							✓	✓	✓
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W1	E	1.73	0	0	awning (fixed) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W2	E	4.62	0	0	awning (fixed) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D01	E	5.73	0	0	awning (fixed) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			